

W A T E R F A L L

ARCHITECTURAL AND LANDSCAPING RULES

REV 1.3 JULY 2020

W A T | E | R | F | A L L

This document must be consulted prior to commencing with the design of any property improvements or building proposals.

It is important for the operation of the estate that every homeowner is thoroughly familiar with all the information contained in this handbook.

The homeowner undertakes to comply with the contents of this schedule in its entirety.

SIGNED: _____ **DATE:** _____

Homeowner

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NOTE: Annexures are subject to change without notice

1. INTRODUCTION

1.1 AESTHETICS CONCEPT

The design of houses throughout the estate should be in response to the uniquely South African climate and lifestyle. Homeowners will have the freedom to create unequalled and diverse homes which will be in keeping with the proposed contemporary farmhouse theme of the estate while still achieving energy efficiency and minimizing negative environmental impact. Within this specified formula the use of various raw materials will be encouraged with a focus on stone, brick, wood and glass.

Outside living areas are required to be situated in the northern half of the property and screened from neighbouring stands to the South. This includes bomas and similar structures, pools and patios. Similarly, balconies on the first floor will not be allowed on the South, West or East side of the stand without the consent of the affected neighbour. Sensitivity to northern exposure of living areas and bedrooms must be addressed for the purpose of generating heat in the building. Primary living areas not receiving proper northern exposure will not be considered. Living areas and balconies overlooking green belts, public open spaces and dams will be permitted at the discretion of the Architectural Committee of the Homeowners Association.

The design of the house must take into account its immediate surroundings as well as the greater environment and should, from the outset, endeavour to be sustainable and eco-friendly where possible. This can be achieved by making the house thermally efficient, using solar geysers and panels, energy-efficient lighting, and low consumption fittings and appliances. Building a home using good design principles will save energy, water, be more comfortable to live in, and have long term cost benefits for the end-user in addition to benefitting the environment as a whole. Please consult the sustainable housing guidelines (annexure 2) for more information.

1.2 ROLE PLAYERS IN THE ESTATE

For your convenience, please take note of the following role players involved in the successful control of aesthetic matters in the estate:

- **The Architect:** The appointed architectural professional appointed by the homeowner.
- **The Architectural Committee:** The Architectural Committee (Studios Architects) is the appointed firm of professional architects that is responsible for plan evaluations and for performing a final inspection on the property when construction is complete.
- **The Aesthetics Committee:** The Aesthetics Committee is a committee of the Homeowners Association that consists of Waterfall residents, a board member, a representative of the Architectural Committee, as well as the management company. This committee represents the homeowners on all matters pertaining to aesthetics.
- **The Homeowners Association (HOA):** The management that has been appointed to manage the estate's day to day affairs.
- **The Developer:** Waterfall Golf Estate (Pty) Ltd.

- **The Board:** The board of directors appointed by the residents, the developer, and the landlord.
- **The Landlord:** The landlord is the Waterfall Country Estate Wuqf (Pty) Ltd which is the lessor of the leasehold properties to Waterfall residents.

2. PLAN APPROVAL PROCESS

The homeowner must refer to the points below regarding the requirements for submission to the Architectural Committee. All documentation including erf diagrams, service connection diagrams and contour plans that may be required to facilitate the design process, are available in soft copy format from the estate management.

No building or addition may be erected or altered without the approval of the Architectural Committee. This does not apply to internal alterations. It will be the responsibility of a homeowner to ensure that he or she is in possession of the most current version of the rules, as non-compliance will not be tolerated.

The approval of any plan will be valid for a period of 24 months from the date of approval. If construction has not commenced within a period of 24 months, then such plan must be resubmitted for full evaluation under the latest applicable guidelines, and the applicable evaluation fee will have to be paid again.

The registered architect and homeowner must take note of the following documentation prior to the design of the house. This documentation forms part of the submission process and the latest version of these forms are available from the Architectural Committee's website: **studiousaesthetics.co.za**

- **Form A** - Building Plan Application Form (must accompany every submission)
- **Form B** - Checklist for Building Approval
- **Form C** - Registered Professional Design and Certification Undertaking (to be submitted annually)
- **Form D** - Architectural Accreditation Application (to be submitted annually)
- **Form E** - Demerit Point System (to be submitted annually)
- **Form F** - Application for Amendments/Alterations/Additions to Plans (should be completed and submitted with any application for amendments)
- **Form G** - Application for Completion Certificate Inspection (must be completed and submitted by the owner to apply for the final inspection)

The approval process is an online submission process and will involve the following three phases:

2.1 PHASE ONE SUBMISSION

The phase one plans must be submitted to the Architectural Committee for approval. A scrutiny fee, which is subject to change, will be payable upon submission of the plans. This fee is for the approval of phase one and phase two drawings. In the case where two consecutive phase one submissions fail, an additional fee will be payable with the third submission of phase one plans.

The architect must submit a maximum of 3 x A1 sheets in electronic PDF format that includes but is not limited to the following:

- Site plan showing the site, contours, building lines, entrances, boundary treatment, all structures, paving, pool, stormwater flow, landscaping, etc.
- Plans and elevations to scale, describing the finishes.
- Sections extending from boundary to boundary that indicates the natural ground level and finished floor level.
- An artist's impression or three-dimensional CAD model showing finishes.
- A detailed area schedule.
- First floor to ground floor calculations.
- Roof percentage calculations.

NB: Please make use of form B (Checklist for Building Approval) to ensure that all relevant information has been provided for this phase of evaluation

2.2 PHASE TWO SUBMISSION

After the phase one plans have been approved, one set of the detailed design and working drawings, limited to 5 x A1 sheets, must be submitted to the Architectural Committee for approval in electronic PDF format.

Provide all required information as prescribed in form B for phase two submissions, which includes rectifying or adding information from the phase one review.

After notification of approval, a full set of municipal drawings must be sent to the Architectural Committee for e-stamping in PDF format. Please ensure that a signed and stamped Waterfall Access Networks (W.A.N.) plan accompanies your submission.

2.3 PHASE THREE SUBMISSION

Since 1 June 2020, the Architectural Committee has implemented an electronic stamping system. Phase two approved drawings must be emailed in PDF format to the relevant estate email address. The plans will be electronically stamped and sent back to the architect within two business days. After the municipal drawings have been approved and stamped they must be submitted to the local authority for approval. Certain prescribed fees will be payable at this stage to the local authority. These aesthetic rules are in addition to and do not supersede the requirements of the local authority, any statutory authority or the National Building Regulations.

3. BUILDING PROCESS

The contractor(s) and the homeowner must sign the Builder's Code of Conduct. The Homeowners Association is entitled to regulate the activities of all building contractors.

It is recommended that the homeowner and their contractor(s) visit the estate management before construction commences to clarify what is required.

No building shall commence until all the relevant approvals have been obtained. **This includes:**

- Providing a land surveyors certificate for all boundary wall pegs from a qualified land surveyor.
- A signed copy of the Contractor's Agreement (which can be obtained from the Building Control Manager's office).
- Payment of the relevant pavement deposit is to be paid to the Homeowners Association prior to construction commencing.
- All signage (contractor's boards etc.) must be as per the approved format (annexure 4) and may only be mounted in front of the applicable property.

3.1 CERTIFICATION OF THE ARCHITECT DURING CONSTRUCTION

As per form C (Registered Professional Design and Certification Undertaking), the architect undertakes to perform three compulsory site inspections that must be included in his/her fee.

1. To confirm that the house has been set out correctly and in accordance with the approved plan. The plinth height (top of unfinished floor level) of the house may not exceed 500mm in height at any level measured from the natural ground level.
2. To confirm the wall plate height prior to roof construction, confirming the superstructure is in accordance with guidelines and as per the approved drawings.
3. To perform final inspection confirming that the house is constructed as per the approved drawings.

The architect will be required to certify that these inspections were done by signing the **form G** (Application for Completion Certificate Inspection). **The Inspection will not be carried out if the form is not certified by the architect.**

3.2 NON-COMPLIANCE

Building activities on a site may be stopped in the following instances:

- Any transgressions on the Builder's Code of Conduct.
- Any deviations on the structure that has not been approved or which is in contravention of the architectural rules.

3.3 COMPLETION CERTIFICATE

On completion of the house, the Architectural Committee and estate management are to be notified. The Architectural Committee will perform an inspection upon formal request (form G) to verify that the house is built as per the approved design while the HOA will inspect the state of the surrounding infrastructure. Once the Architectural Committee and a representative from the Aesthetics Committee have performed the inspection and recommended the house for approval, a completion certificate will be issued and the pavement deposit will be refunded to the owner. All owners will need to be in possession of a completion certificate to avoid being billed penalty levies. If not received by the end of the 24 month construction period, penalty levies will be applied.

An owner must be in possession of a City of Johannesburg Occupation Certificate prior to occupying a house.

The pavement deposit, minus applicable deductions, will be refunded once a completion certificate is issued by the Architectural Committee.

4. MATERIALS

We aim to encourage the use of materials in their natural state, thereby creating a unifying element to all the homes, as diverse as we hope they will be. The quality of design and the application of these raw materials in new and relevant ways are of paramount importance to this concept. The materials are as follows:

- **STONE:** The use of natural stone can be used to give warmth and depth, especially in the form of founding or feature elements, for example; chimneys, columns, bases and retaining walls. Only natural stone may be used. **No fake concrete facings or stone imitations will be allowed.** An image sample and specification must accompany the plan submission.
- **BRICK:** The use of exposed brickwork provides an earthy feel and is very effective in detailing arches, lintels, and edges, as well as introducing a human scale to larger buildings. **No unplastered stock brick facades will be allowed.** No yellow or two-toned face bricks is allowed. Face bricks are limited to red colour ranges: Roan Satin or similar red colours.
- **PLASTER:** Plaster, whether smooth, brushed or bagged, tends to improve over time with a natural patina, as well as being extremely flexible in terms of creating moulded or sculpted details. It is also useful to create contrast with the specified brick and stone elements. The plaster must be painted in a limited selection of natural colours chosen from the earth tone exterior paint colour palette (annexure 1). A sample colour swatch must accompany every submission. **Please take note:** When a house requires repainting, the colour may only be changed once a sample of the new earth tone colour has been approved by the Estate Office. This will then be kept on record with the Architectural Committee.
- **WOOD:** Wood in its natural state lends warmth and interest in many applications, from doors and windows to heavy beams, columns, and trusses. The grain of the wood itself gives texture and life to elements and spaces. The wood may also be painted in a limited selection of colours chosen from the specified colour palette (annexure 1) and as per the approved colour swatch submitted to the Architectural Committee. Artificial or composite timber may be used but is limited to a maximum of 20% of the total facade area. Composite timber may be used on horizontal surfaces such as decks.
- **STEEL:** Steel, especially when used in conjunction with glass, allows spaces to become light and spacious. It makes it possible to span large openings and create spaces that are open. Steel is a modern material that can be used to create dramatic effects. It may be galvanized or painted grey.
- **GLASS:** When well designed, glass can create warmth when it's cold and provide cooling when it's hot. This is done through the use of shading and screening devices in summer, and by allowing the low winter sun to penetrate from the North in winter. It can bring the outdoors inside and can create spaces that flow. The use of glass in a home is unlimited in its application, from doors and windows to screening devices and ventilation.
- **No reflective or mirror glass will be allowed. This applies to all fenestration and includes glass or PVC garage doors.**
- **GREEN MATERIALS:** Please see the Sustainable Housing Guidelines (annexure 2) for more information on incorporating green materials into your house design. It is strongly encouraged that double glazing or performance glass be used over and above the requirements as set out in SANS 10400-XA and SANS 204.

5. INTERIORS

The following electrical appliances are not permitted and the gas equivalent must be specified.

NOT PERMITTED	PERMITTED
Electrical underfloor heating	• Piped water underfloor heating with a gas-fired boiler and under slab insulation • Gas space heaters
Electrical geysers	• Gas-fired instant water heaters • Solar water heater or heat pump
Electrical hob	• Gas hob
Electrical space heaters	• Gas space heaters

6. EXTERIORS AND EXTERNAL STRUCTURES

6.1 HOUSE FORMS

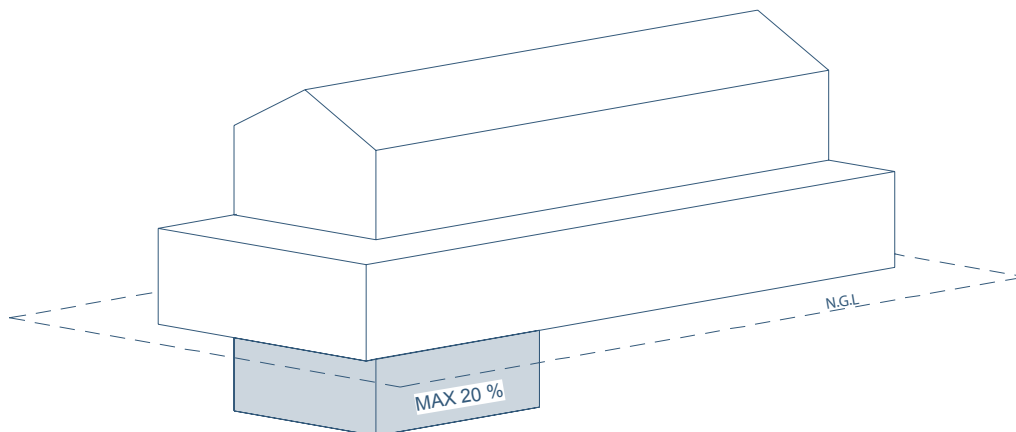
Building forms must be simple rectangular or composite rectangular, and frontages facing the street should be parallel to the street along the building line. In Waterfall Country Estate a minimum house size of 300m² and a maximum of approximately 850m² is allowed. In Waterfall Country Village a minimum house size of 200m² and a maximum of approximately 500m² is allowed. This area includes the main dwelling, garages, and outbuildings. The maximum permissible height of any building on an erf is two storeys and 10.5 meters when measured parallel from the natural ground level. This must be indicated on elevations and sections. Chimneys will be exempt from height restrictions.

The natural ground level shall be deemed to be the level as determined on a contour plan. Should a dispute arise relating to the determination of any natural ground level, the Architectural Committee will be entitled to rely on the details shown on the contour plan submitted.

No decorative beams, structures or double volume columns will be allowed to protrude from the exterior of the house. Double volume porte cocheres or entrance columns are not allowed in the estate (and approval thereof will be solely at the discretion of the Architectural Committee).

A non-habitable, **below-ground cellar or basement** not exceeding 20% of the ground floor area will be allowed by the Architectural Committee, on condition that it has no external entrance or windows and is noted on the plan submissions. Access to the basement will only be permitted from the ground floor inside the house.

A non-habitable loft will only be accepted on the basis that it does not exceed 20% of the first floor area, has no visual or physical access to the outside and has a wall plate level of no more than 1,2m.

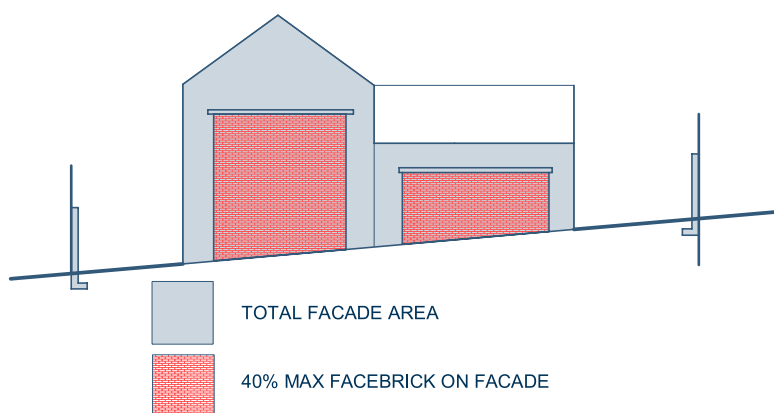


AN ILLUSTRATION OF A BELOW-GROUND CELLAR OR BASEMENT NOT EXCEEDING 20% OF THE GROUND FLOOR AREA

6.2 EXTERNAL WALLS

External walls that are plastered must be finished in earthy colours with an approved paint colour from the earth tone exterior paint colour palette (annexure 1). The primary external paint colour may not be perceived as white or black. Primary colours must be earthy tones. A sample swatch, with codes, must be submitted to the Architectural Committee for approval with the phase one plan submission. **Please take note:** When a house requires repainting, the colour may only be changed once a sample of the new earth tone colour has been approved by the Estate Office. This will then be kept on record with the Architectural Committee.

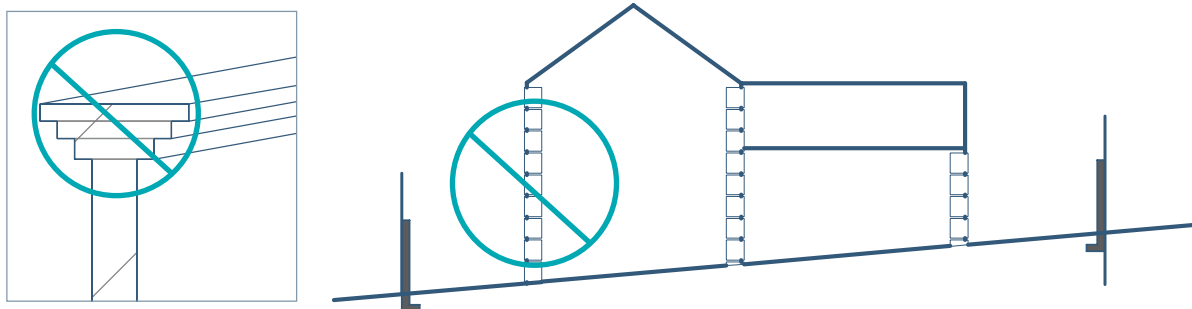
Face brick may not be used as the dominant feature of the house but may be considered for decorative purposes solely at the discretion of the Architectural Committee. Only up to 40% (forty percent) of a facade may have a face brick finish. The roof area is not included to the total facade area for the purpose of this calculation.



A MAXIMUM OF 40% OF THE FACADE AREA MAY BE FACE BRICK

Two-tone face brick and yellow face brick will not be allowed in the estate. If face brick is to be used, then flush joints are required. Natural stone can be used to give warmth and depth to design, especially in the form of founding or

feature elements, for example; chimneys, columns, bases and retaining walls. No fake stone or concrete/fibreglass facings will be allowed. Horizontal string courses and simple plaster surrounds to openings will be permitted. However, no multi-level corbelling or coining will be permitted on any part of the building, boundary wall or outbuildings.



AN EXAMPLE OF MULTI-LEVEL CORBELING AND COINING

6.3 ROOFS

Roofs must be dominantly pitched in form. Major plan forms are to be roofed with symmetrical double pitch roofs with a pitch of between 17.5 and 45 degrees. Roofs over verandas may have a lesser pitch provided that the same material is used as on the major elements. The same material must be used on all pitched roofs with the exception of slate and grey Chromadek sheeting which may be mixed.

No more than 30% of the total roof footprint must be flat or have a pitch of less than 12 degrees. It is important to understand that balconies are also included as a flat roof.

Mono pitch or lower pitch roofs may be approved, but approval is strictly at the discretion of the Architectural Committee. It will be assessed in relation to the overall design aesthetic of the house. Sections that have a pitch of less than 5 degrees and are constructed in concrete needs to be finished with pebbles or stone chips up to a thickness of no less than 50mm. No silver waterproofing may be visible. Roof lights and roof windows are permitted provided that they are set in the plane of the roof. Dormer windows may be approved if motivated by the overall design.

Sheeting must be colour baked and may not be painted. **Concrete roof tiles are not accepted in the estate.** Roof coverings are restricted to natural blue-grey slate, full-body grey terracotta clay tiles, and grey Chromadek or similar sheeting in various profiles. An image sample or specifications must be submitted to the Architectural Committee for approval upon submission of the concept plans. Alternative roofing could be approved at the discretion of the Architectural Committee based on a strong architectural motivation specifically noted in the submission. All houses are required to have eaves, for aesthetic reasons, as well as a passive design requirement to aid in climate control.

Roof eaves must be visible and may not be hidden behind parapet walls.

6.4 WINDOWS, FRENCH DOORS & SLIDING DOORS

Windows, French doors and sliding doors must be constructed from natural hardwood, uPVC, or powder-coated aluminium in white or a shade of grey. No steel windows, reflective glazing, and no glass blocks will be permitted. Windows, French doors and sliding doors must be predominantly vertically proportioned, however variations to this may be permitted and approval will be at the discretion of the Architectural Committee. Windows on all elevations must be carefully proportioned so that no elevation is left blank or with uneven openings. Each elevation must have

a minimum of 5% fenestration. All northern windows and openings should be taken into account in the overall passive design of the house. External shutters are encouraged on North and West exposures. **No fake shutters will be permitted. Shutters must comply with the earth tone colour palette (annexure 1).** Shutters must be constructed from natural hardwood or aluminium. External burglar bars and expanding security grids are not permitted. For security purposes, roller shutters may be used, but they must be completely internal and not exposed. No overly decorative or symbolic patterns may be visible on the front door or on any other visible facades.

6.5 EXTERNAL DOORS

External doors must be constructed from natural hardwood or glass with an aluminium, uPVC, or timber frame. Carved doors and doors constructed from driftwood or railway sleepers are not permitted. Expanding security doors are not permitted on the exterior of the building. Natural hardwood may be used in its natural state or be painted in accordance with pre-approved colour samples approved by the Architectural Committee.

6.6 VERANDAS, PORCHES & PERGOLAS

The house must include a covered veranda with a size of at least 10% of the area thereof. Supports may be constructed from timber or steel sections. No round, fluted or reeded concrete columns, precast classical columns or pediments will be permitted. Pre-cast concrete balustrades will also not be permitted. Simple caps, bases, and brackets will be allowed. Pergolas, bomas, gazebos, etc. may not be constructed or erected over any building line.

7. GARAGES, DRIVEWAYS & CARPORTS

Garages must be set back to the building line from the erf boundary abutting the street. The doors may be double and may exceed 2.5 meters in width. Driveways are to be indicated on the site plan for approval. Road safety must be considered and should be the determining factor of the driveway design. **Driveways must be perpendicular to the street boundary and to the maximum width of the garages where it crosses the verge.**

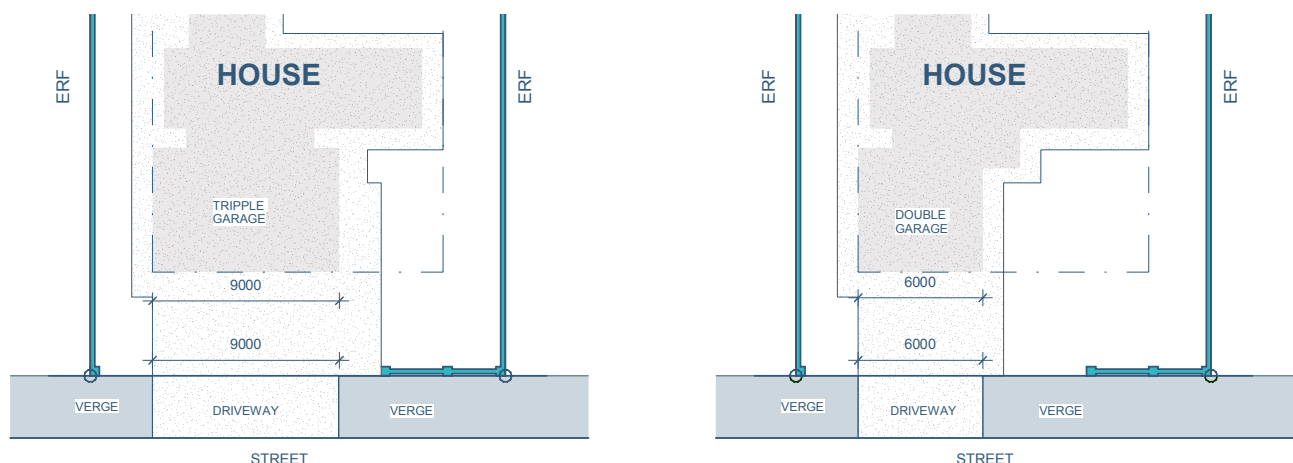


ILLUSTRATION OF PERMISSABLE DRIVEWAY WIDTHS

Driveways should be constructed from Infraset Village Cobble® paving or similar and may not be constructed from asphalt, interlocking paving, or any form of crazy or brick imprint paving. Exposed aggregate concrete or alternate materials may also be considered and will be approved at the discretion of the Architectural Committee. An image sample or specification must be submitted to the Architectural Committee for approval during the plan evaluation phase.

Carports must not be of the prefabricated type and must form part of the architectural design of the house. Carports will form part of the allowable coverage of the house should the roof be solid. Carports may not be constructed over building lines.

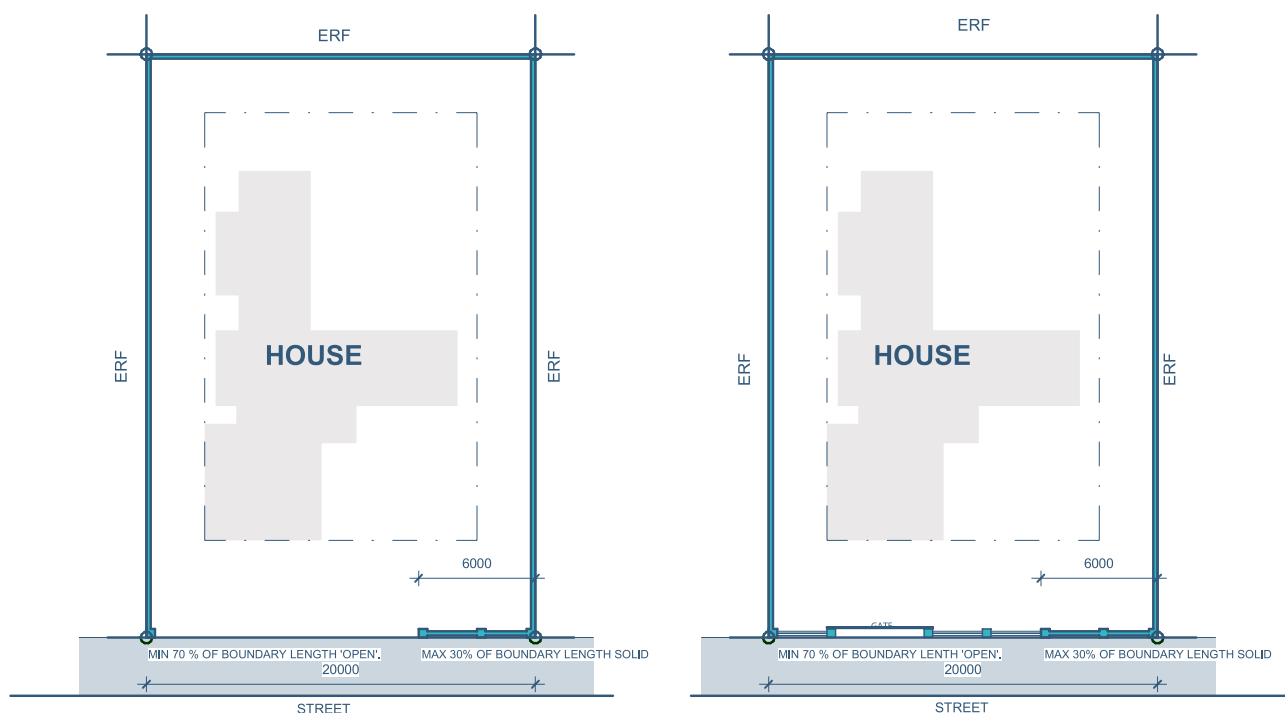
Boats, trailers, caravans and golf carts must be concealed from the street and greenbelts.

A minimum of two 150mm diameter PVC sleeves is to be laid under driveways and paths constructed across sidewalks for purposes of accommodating any pipes and cables that may be laid in the sidewalks. These sleeves are to be laid two meters from the boundary line and 800mm deep.

8. BOUNDARY WALLS

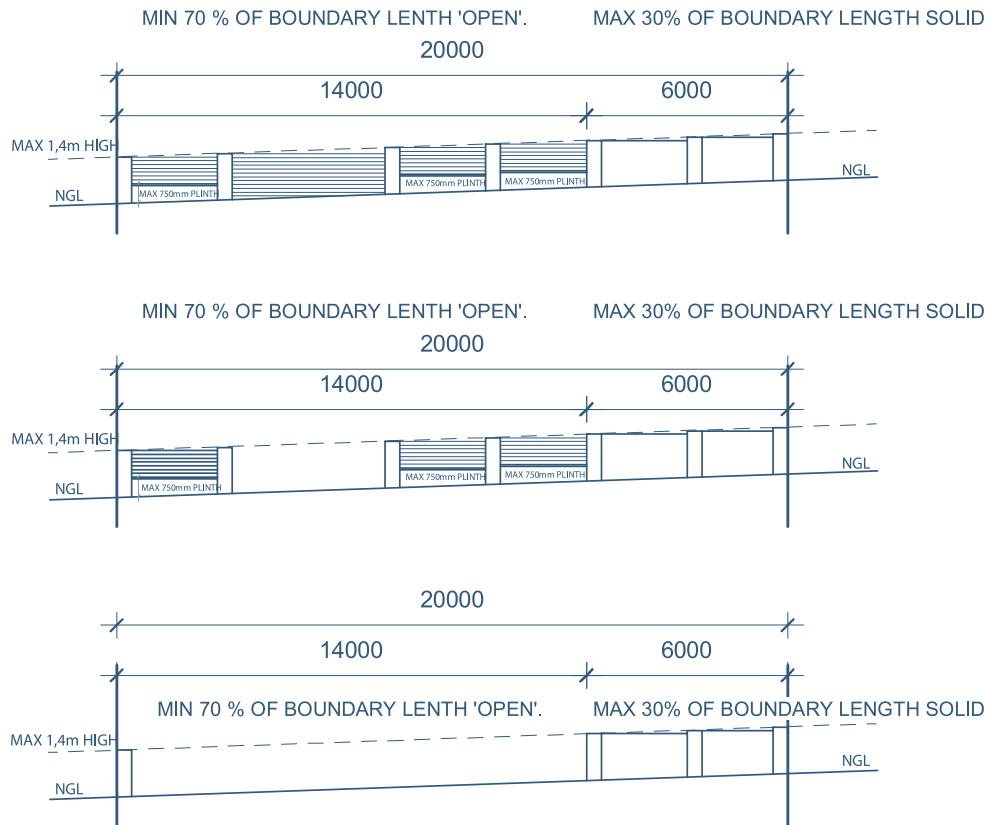
8.1 BOUNDARY WALLS ALONG STREET FRONTAGES

Should a street boundary wall be constructed, no more than 30% of the front wall may be solid.



STREET BOUNDARY WALLS

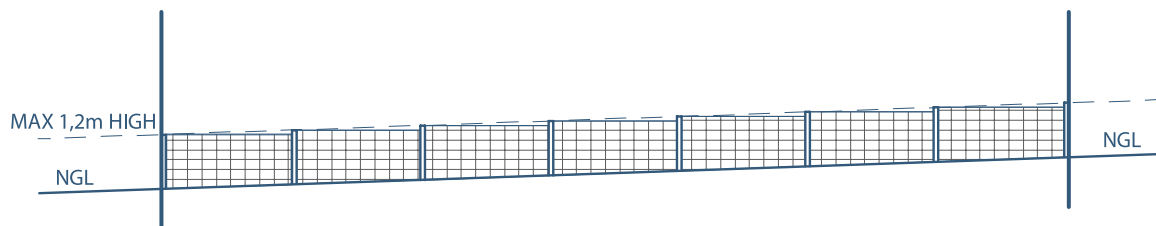
Precast concrete walls or walling systems are not allowed. All boundary walls must follow the contours and be stepped evenly. It may not exceed 1.4 meters in height above natural ground level except (upon approval by the Architectural Committee) where a patio, pool or entertainment area faces the street.



STREET BOUNDARY WALLS

No palisade or similar “V” design fencing will be allowed. Powder-coated or galvanized steel, clear view, meshed panels and PVC may be considered as an alternative to the timber options between brick or stone columns.

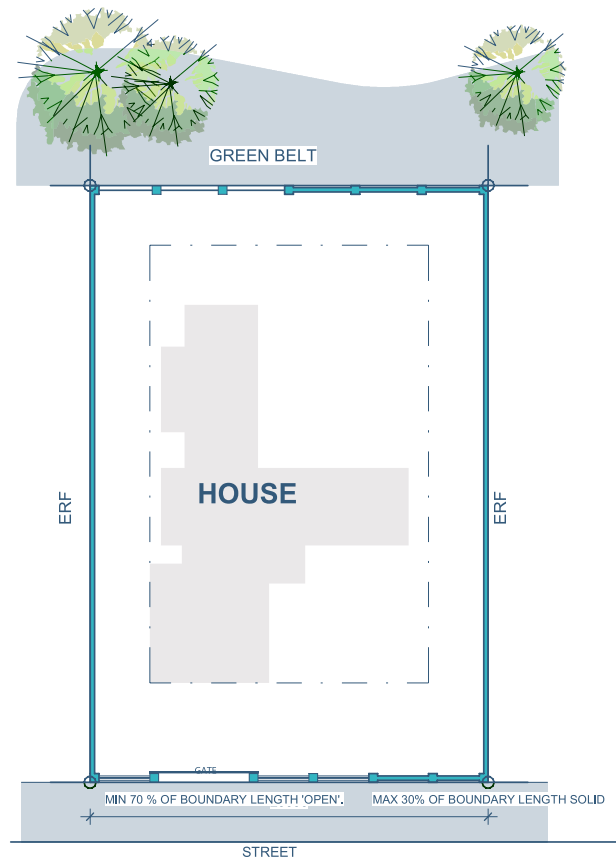
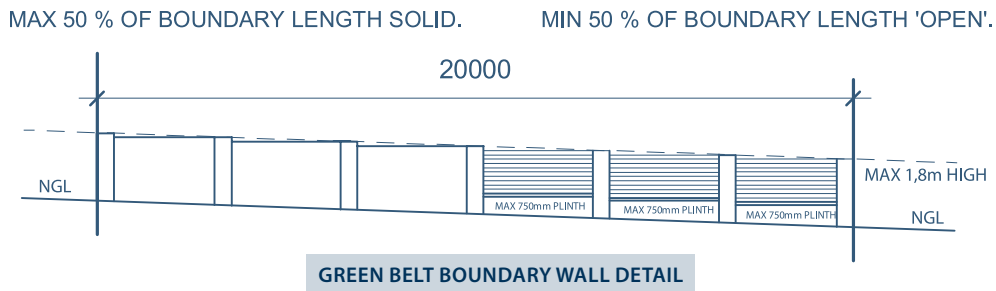
No brick or stone columns are required for a clear view fence of 1,2m high or less on a street frontage.



CLEAR VIEW FENCE DETAIL AT MAX 1.2 M HIGH

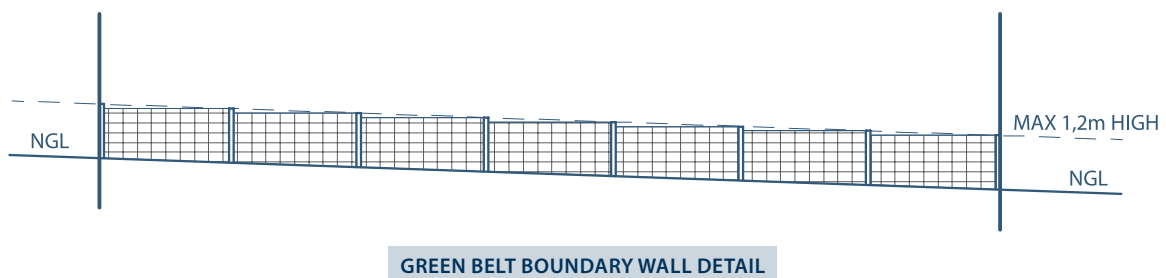
8.2 BOUNDARY WALLS ALONG GREEN BELTS

It is recommended that no boundary wall be constructed towards the green belt. However, should a boundary wall be constructed on a green belt boundary, no more than 50% of the boundary wall may be solid. The boundary walls must follow the contours and be stepped evenly and may not exceed 1.8 meters in height above natural ground level.



STREET AND GREEN BELT BOUNDARY WALL DETAILS

Powder-coated or galvanized steel, clear view, meshed panels and PVC may be considered as an alternative to the timber options between brick or stone columns. No brick or stone columns are required for a clear view fence of 1,2m high or less on a green belt frontage.



The homeowner will be responsible for finishing the outside of the boundary wall if the wall is on a green belt or public open space boundary.

8.3 SERVICE YARD WALLS

Yard walls are not considered to be boundary walls and the following will apply:

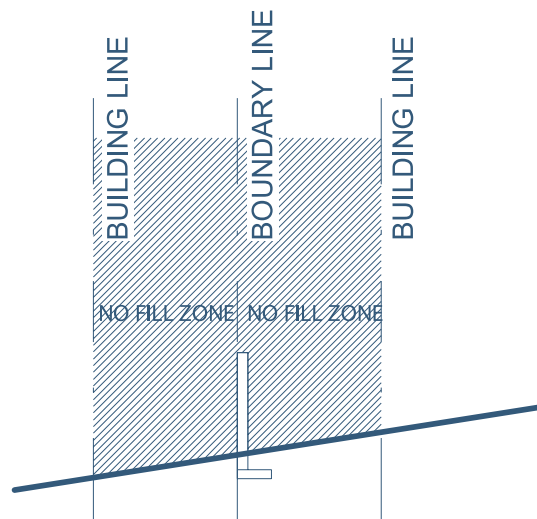
Service yard walls may not exceed 20% of a street boundary or on boundaries to public open spaces and green belts. The height of these walls will be restricted to 1.8 meters high from natural ground level.

8.4. SIDE/SHARED BOUNDARY WALLS

Side boundary walls are not mandatory, but if constructed, they must be constructed from masonry.

Side/shared boundary walls can be constructed to a maximum of 2.1 meters measured from the top of the wall to the natural ground level. All boundary walls must be constructed in accordance with SANS 10400 and all walls must be certified by an engineer. Other materials may be approved upon special application to the Architectural Committee.

Please refer to clause 15.2 and take note that no cut or fill is allowed against any shared boundary walls, as this causes structural and privacy problems.



NO CUT OR FILL IS ALLOWED AGAINST ANY SHARED BOUNDARY WALLS

9. STORMWATER BETWEEN NEIGHBOURING STANDS

Stormwater is to be evenly attenuated over a property to stormwater openings (weep holes), which should be provided in internal/shared boundary walls at no more than three meter intervals. Lower lying stands are obliged to take stormwater of higher-lying stands.

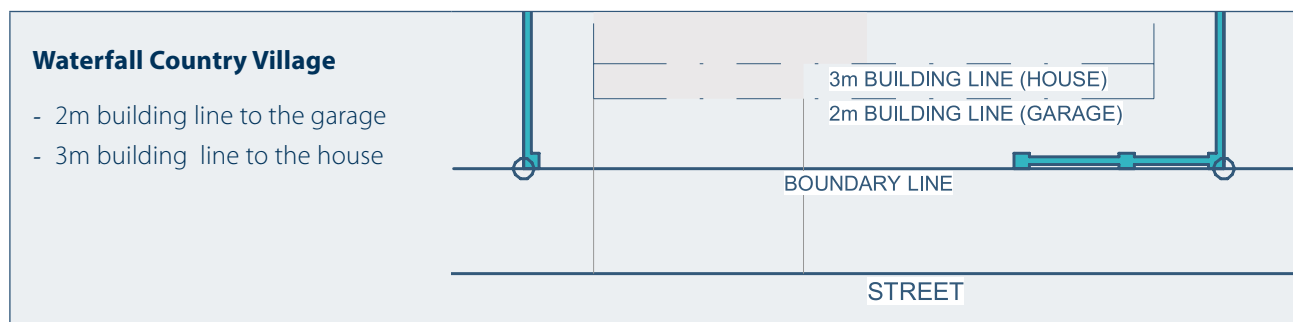
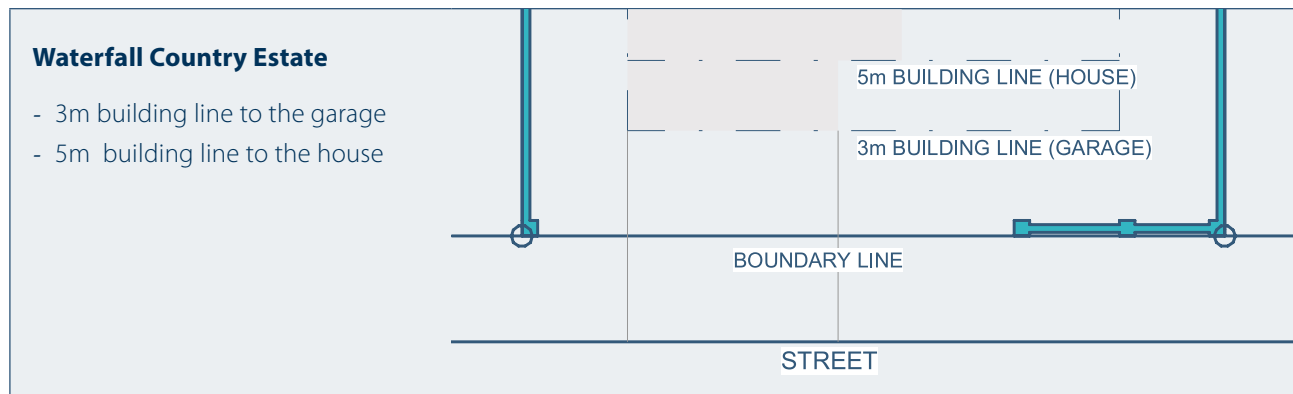
No concentrated stormwater is to be disposed of directly in neighbouring stands and must comply with National Building Regulations. Ideally, stormwater should be disposed of in a stormwater drain, water feature, or soak pit within the property.

10. BUILDING LINES

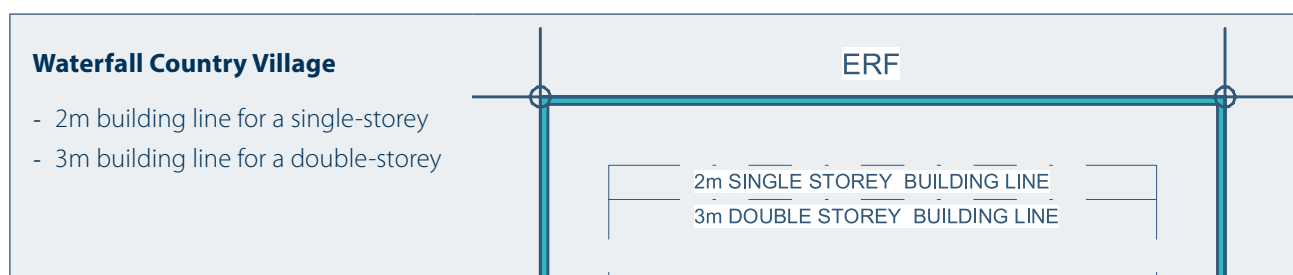
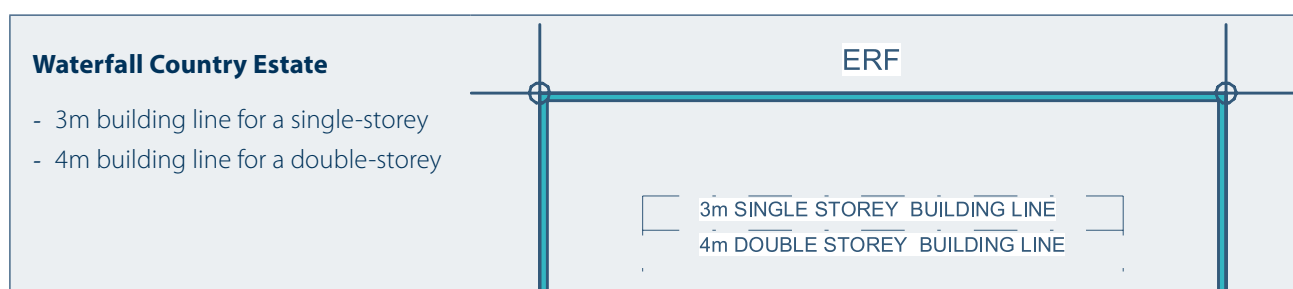
The standard Johannesburg City Council building lines may be relaxed to the following minimum dimensions. Any such relaxation will require prior approval from:

- The Architectural Committee who will act according to guidelines set by the Aesthetics committee;
- All affected neighbours;
- The City of Johannesburg.

Street Boundary

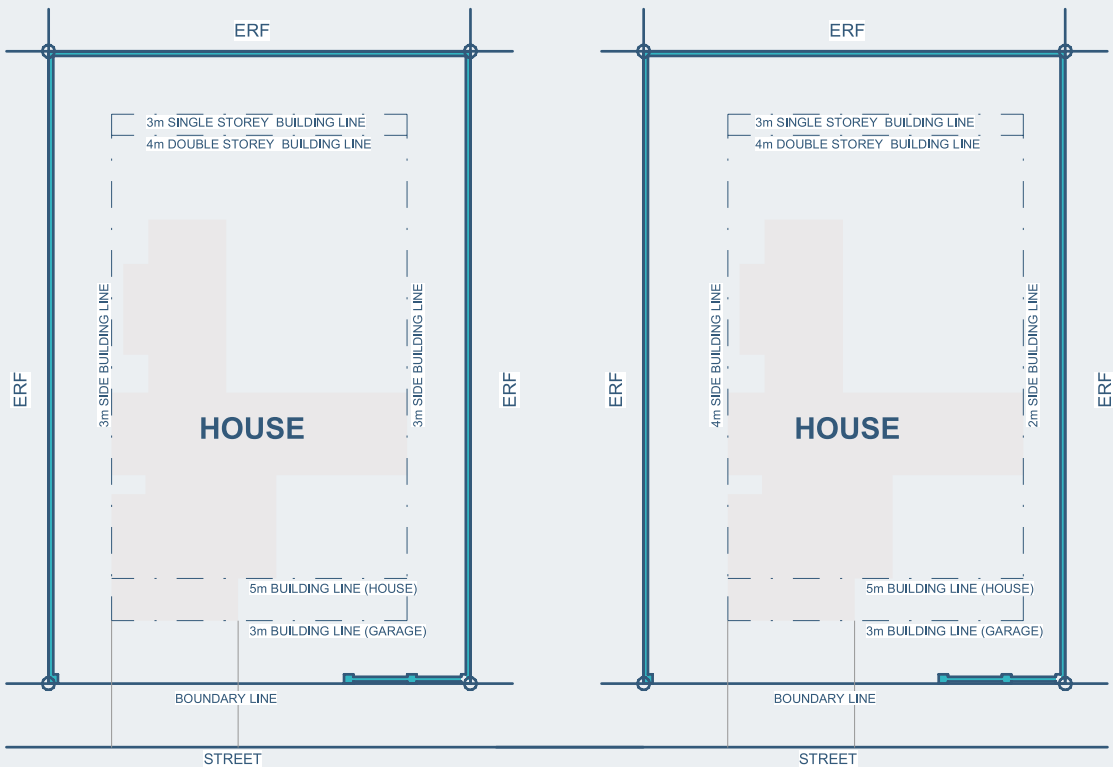


Midblock Boundary



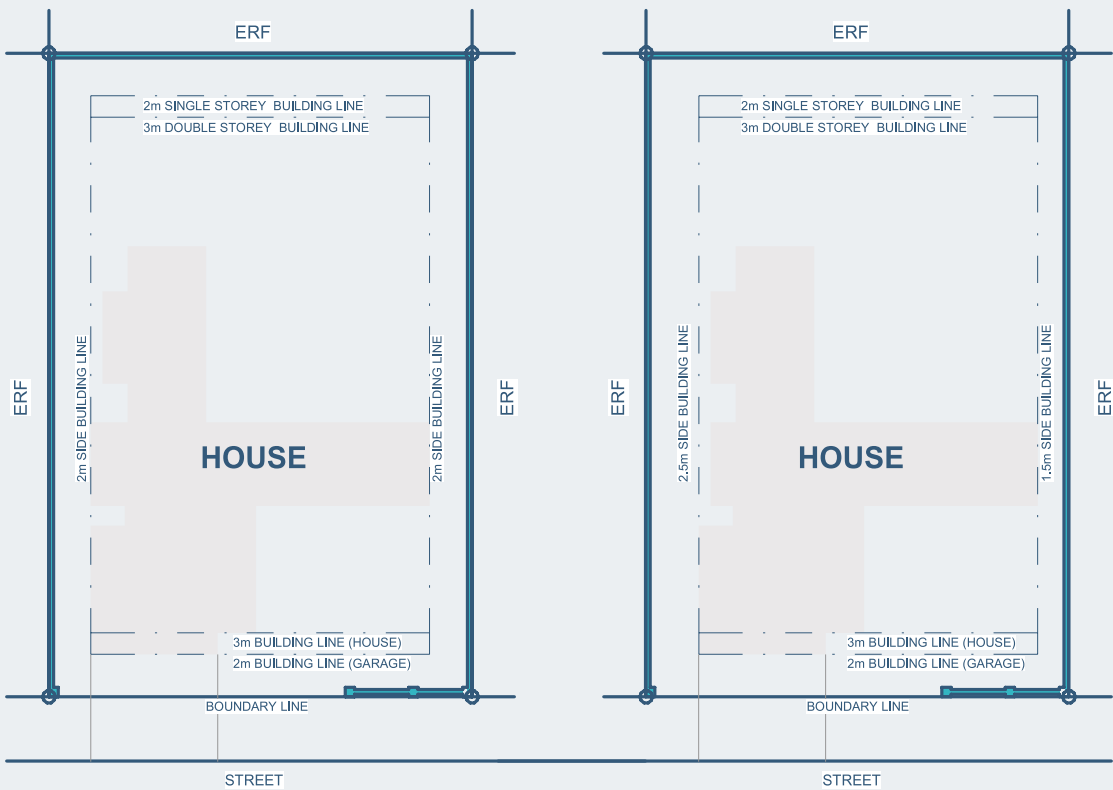
Waterfall Country Estate

- An aggregate (total) of 6m to both sides subject to a minimum of 2m on one side



Waterfall Country Village

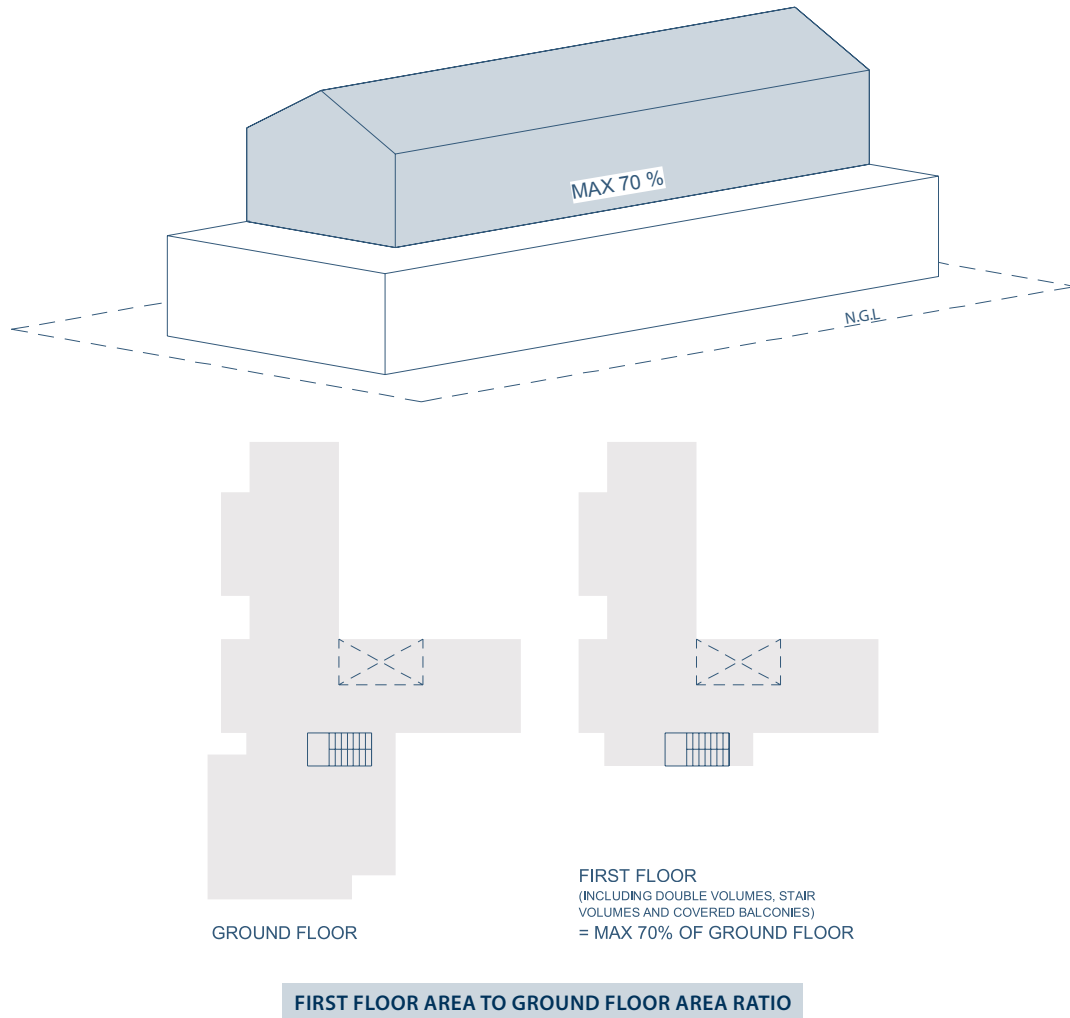
- An aggregate (total) of 4m to both sides subject to a minimum of 1.5m on one side



10.1 COVERAGE AND FIRST FLOOR TO GROUND FLOOR RATIOS

The maximum coverage for a single or double-story house is 50% of the erf size.

The first-floor area may not exceed 70% of the ground floor area. **PLEASE NOTE: Double volume areas, stairs and covered balconies should be included in the first floor area for the purpose of this calculation.**



11. EXTERNAL PIPES, FITTINGS, FIXTURES & DEVICES

11.1 GUTTERS

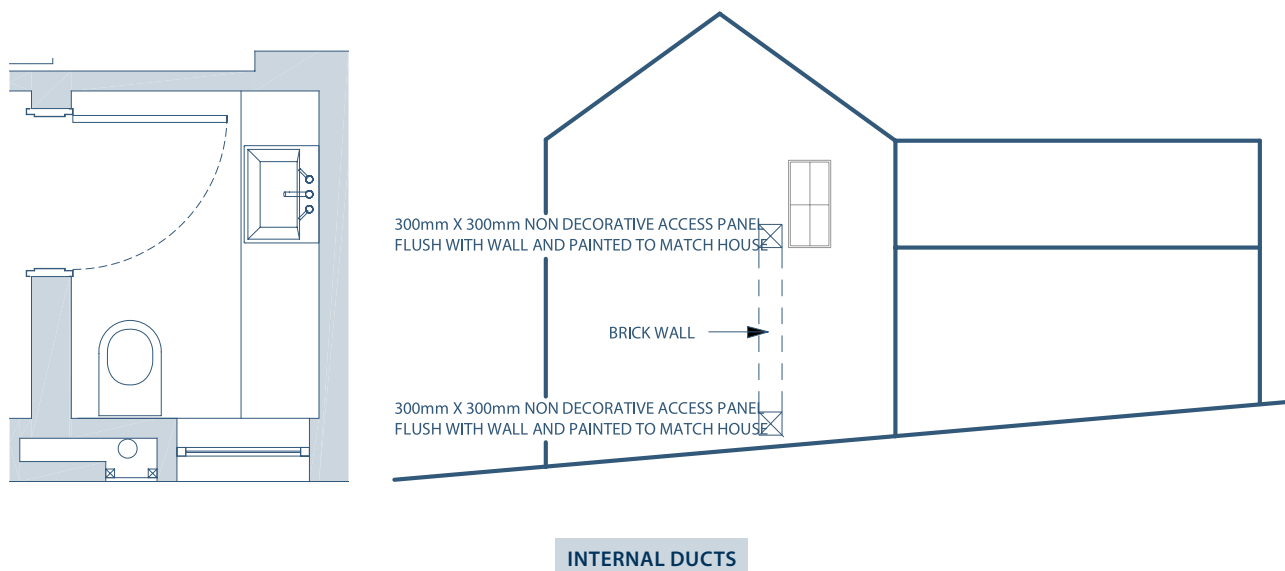
Gutters must be painted to match the colour of the roof or window frames.

11.2 FACIA BOARDS

Facia Boards must be painted to match the roof colour or predominant house colour.

11.3 SEWER DUCTS

Plumbing pipes must be bricked in and made flush against the external wall. Access panels, only at the junctions, must be approximately 300mm x 300mm in size and painted to match the house. No horizontally slatted fibre-cement duct covers will be permitted.



11.4 AIR CONDITIONING UNITS AND HEAT PUMPS

Window mounted air-conditioning units are not permitted. Wall-mounted air-conditioning units are permitted provided they are mounted at ground level (top of unit lower than the boundary wall) and screened so as not to be visible from the street or green belts. If an aircon unit is proposed on a slab, it must be screened behind a raised parapet wall and the unit may not be visible from any point in the estate. The same rule applies to the positioning of heat pump units.

11.5 GEYSERS AND GAS WATER HEATERS

Geyser tanks for solar heaters or heat pumps must be installed inside the roof void or in a cupboard. Wall-mounted geysers are permitted provided they are mounted at ground level and screened so as not to be visible from the street or green belts (top of unit lower than the boundary wall). The use of instant gas water heaters is encouraged but must be mounted on the ground level as far as possible. If the unit is proposed above the first floor level, then its location must be as discrete as possible.

11.6 EVAPORATIVE COOLING UNITS

These must be suitably integrated into the overall design. Evaporative cooling units must be specified on all plan submissions and must be designed to be installed lower than the apex of the roof and to match the colour of the roof.

11.7 POOL PUMPS

Pool pumps must be enclosed and screened so as not to be audible or visible from the ground level of adjacent properties or the street.

11.8 GAS SUPPLY

- **Gas (Envirofuel) Connection Box:** It is the responsibility of the homeowner to connect or terminate the provided gas line into an 'Envirofuel' gas box that must be situated on the street boundary wall and accessible from the street. This box must be painted to match the boundary wall.
- **Gas Cylinders:** Gas cylinders must be screened from the street and installed in accordance with SANS 10 087 Part I. A **maximum of 19kg gas** may be kept on a property.

All installations must be done by an authorised person, as per the requirement of the OHS Act.

On completion of the installation, a certificate of conformance must be issued by the installer as per requirements of the OHS Act. The certificate is handed to the owner who must keep it, and present it for inspection if requested. A copy of the certificate is forwarded to the Liquefied Petroleum Gas Safety Association of Southern Africa. A copy of the certificate of conformance is kept in the installers certificate book.

11.9 AERIALS AND DISHES

These may not be visible from the street or the green belt.

11.10 EXTERNAL LIGHTS

The positioning and intensity of all external lighting must be regulated in order to not disturb surrounding properties.

11.11 HOUSE NUMBER AND LETTERING

Signs relating to the address and/or the name of the house are permitted provided that the height of the lettering does not exceed 300mm. Should a specific design of a house number be required, it can be submitted for approval to the Architectural Committee.

11.12 BALUSTRADES

All railings, balustrades and detailing must be simple and in keeping with the contemporary farmhouse aesthetic and not elaborately decorative. Glass balustrades will be allowed. No precast concrete balustrades will be permitted.

11.13 FOUNTAINS AND STATUES

No precast concrete fountains or statues will be permitted.

No religious carvings, sculptures or statues may be visible from the street, green belts or the ground floor of neighbouring properties.

11.14 RAINWATER TANKS

These are encouraged, but if exposed, they must be constructed (or suitably clad) with steel to compliment the architecture of the building it serves and be clearly indicated on all drawings. 'JoJo' and similar plastic tanks are to be screened from the street and green belts. The top of the tank may not be higher than the boundary wall.

11.15 SOLAR PANELS

If possible, solar panels should not be visible from the street and should be integrated into the overall design aesthetic. The panels must be mounted flush on the roof. Solar panel tanks are to be housed in the roof void or a cupboard and may not be externally mounted.

11.16 WASHING LINES AND REFUSE BIN AREAS

These must be enclosed inside a service yard to screen them from the view of the street and green belts. Washing lines may not be higher than a shared boundary wall.

11.17 CHILDREN'S PLAY AREAS

Treehouses or dollhouses are permitted but must be painted to match the colour of the house and the roof must be the same colour as that of the house's roof. These structures may not be habitable and must comply with the building line restrictions.

Jungle gyms, free-standing trampolines or similar equipment must be adequately screened from streets and green belts and should conform to building line restrictions. Jungle gyms must conform to the use of natural materials.

11.18 OTHER STRUCTURES

The following structures are not permitted:

- Tool sheds
- Lapas
- Banners and flags
- Stretch canvas structures
- Wendy houses
- Retrofitted awnings
- Mobile roll down or swing arm awnings

12. ERF USE

A residential stand may not be subdivided or rezoned. Neither may a sectional title plan be registered on it under any circumstances.

No second dwellings will be allowed on the property and no property may be used for any other purpose than what is allowed on the zoning certificate.

13. DOMESTIC ANIMALS & PETS

All dogs or any domestic animals kept on an erf must be contained in an adequately enclosed area. Care must be taken by pet owners to respect indigenous plantlife, birdlife and wildlife in the estate.

14. SWIMMING POOLS

Pool safety must be adhered to at all times. Any fencing of the pool must be sympathetic to the architectural style and designed accordingly. No prefabricated sparred steel fencing will be allowed. No temporary shade net structures will be allowed. Discharge pipes from swimming pools must not discharge water directly onto a street, sidewalk, green belt or any adjacent erf. The restriction of the building lines must apply to the positioning of swimming pools and approval is subject to the discretion of the Architectural Committee. External solar heating pipe systems installed on roofs must be noted on plan submissions and heater downpipes must match the colour of the roof or wall.

Paving around pools may not be elevated more than 500mm above natural ground level.

15. LANDSCAPING

An important aspect of the vision for the estate is to create a distinct and harmonious landscape in accordance with the architectural vernacular and to extend the framework planting of the central boulevard and other sidewalks to the private gardens.

We expect that the landscaping of stands will be considered as an integral part of these home designs and that the outdoor spaces be as well planned and detailed as the homes themselves. The use of indigenous plants and the creation of outdoor 'rooms' will further enhance the concept of natural materials being used to build this estate into something original.

Any type of lawn may be used within the property, but only indigenous lawns/landscaping may be used on the road verge.

Properties with Kikuyu lawn that fronts a green belt will have to create a buffer between the green belt and their property by means of a one meter landscaped garden bed as shown in the detail below:



BUFFER BETWEEN THE GREEN BELT VEGETATION AND KIKUYU LAWN

15.1 ROAD VERGES

Considering the natural beauty of the area, owners may wish to retain a portion of their stand in its natural state; however, the area between the street boundary and the building line must be landscaped. Every homeowner is required to landscape the sidewalk to comply with the environmental and landscaping conduct rules. It is also recommended that the verge allows for pedestrian accessibility. No artificial stones or concrete bollards are allowed on the verge. No gooseneck intercom or similar structures are allowed on the verge.

Only and strictly indigenous plants and trees may form part of the landscaping extended to the sidewalk and must be maintained by the homeowner thereafter. No Kikuyu lawn may be planted on the road verges or areas around the dam in front of the stands in Jukskei View Extension 58.

Lawns and gardens must be maintained in a lush and weed-free condition at all times. The garden landscaping must be completed when the final inspection is requested.

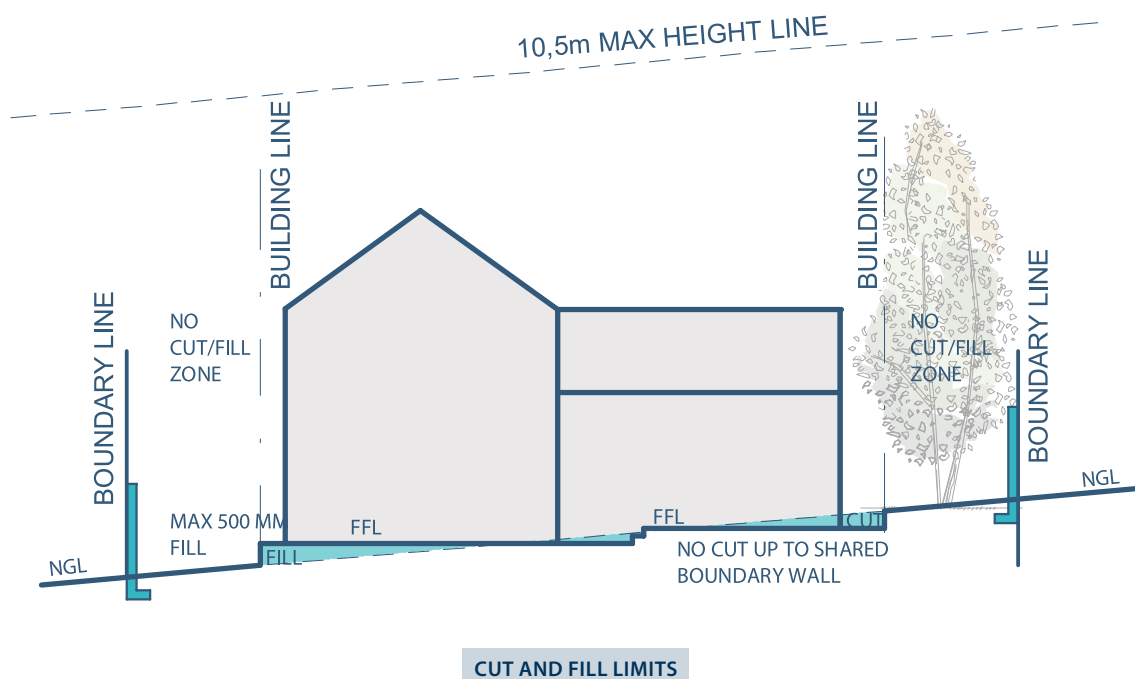
Not permitted on sidewalks: Kikuyu, Roses, Bougainvilleas, Jucca trees, Palm trees and other exotic species.

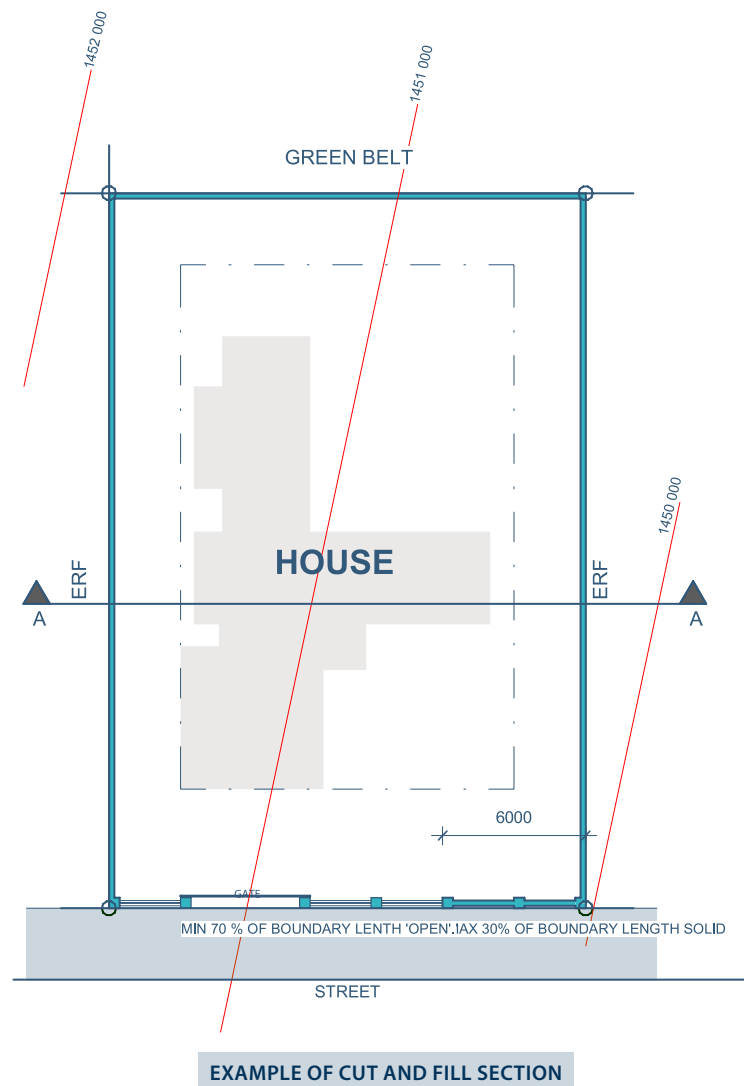
15.2 CUT AND FILL LIMITS

At no point may the cut or fill exceed 500mm from the natural ground line. No cut and fill will be allowed between the building line and stand boundary line. In the case where a house is situated on the building line, a retaining structure may be constructed one meter max from the perimeter of the house.

The fill limitation of 500mm also applies to timber decks. The top of timber decks and paving around pools may not exceed 500mm above natural ground level.

The Architectural Committee will consider a relaxation on this fill limitation for areas facing the green belts. Neighbours consent must be obtained for such a relaxation to be considered, or areas facing the neighbouring properties must be adequately screened.





15.3 TREE POLICY

It is environmentally significant and important to complement our existing diverse and surprisingly rich natural spaces with landscaping that “adds value” from an environmental perspective thus integrating our living spaces with our natural environment. Sensible landscaping will add significant value to property values, running costs and your day to day living environment. Landscaping can either mature into an important investment or become a liability with a lot of irreplaceable time lost.

Recommended species should thrive within our highveld conditions, so it makes sense to utilise species naturally occurring in the highveld. It is however notable that “new habitat” is created by buildings which offer warmth and protection for species not naturally occurring on the highveld, so this does expand the scope of appropriate indigenous trees we can utilise, within reason. The attached list takes this into consideration. All of these trees are water-wise and attract and support our indigenous birds, bees and butterflies.

There are many things to consider, like how big the tree grows and whether the tree has an aggressive root system or not. Trees can potentially damage roads, paving, walls, foundations and other infrastructures such as water pipes and stormwater drains. There are a number of magnificent Coral trees planted right up against houses on the estate, beautiful, but wait until that invasive and powerful root system gets a hold. Large trees can also potentially fall on houses, damage cars or worse. River bushwillows, for example, can potentially grow extremely fast and are then

naturally prone to falling and continuing their existence from a horizontal position or having large branches breaking off. There is nothing more magnificent than a Huilboerboon in flower until you park your car underneath it on your driveway. As tempting as it is to include the lovely Bushmans Poison tree, this would just not be a good idea and is potentially lethal were a child to eat the berries. Many useful architectural aspects can also be considered, for instance, deciduous trees such as White Stinkwoods are great for summer shade but yet when their leaves fall, allow the sun to warm your living room in summer.

15.4 RECOMMENDED PLANT LIST

Recommended Indigenous Trees

Indigenous to the Gauteng Highveld

Occurred on the estate pre-development

Indigenous to Northern Gauteng

Indigenous to SA but not local

*** Aggressive root system**

ITEM	COMMON NAME	SPECIES	NOTES
SMALL TREES			
1	Mountain Aloe	<i>Aloe marlothii</i>	Large aloe from Gauteng.
2	Tree Aloe	<i>Aloe barberiae</i>	Large tree aloe from the Eastcoast.
3	Velvet Rock Alder	<i>Afrocanthium gillfillanii</i>	Drought resistant tree/shrub great for small gardens.
4	Rock Alder	<i>Afrocanthium mundianum</i>	Drought resistant tree/shrub great for small gardens.
5	White Pear	<i>Apodytes dimidiata</i>	Fast-growing, graceful evergreen tree, great for screening.
6	False Olive	<i>Buddleja saligna</i>	Fast-growing tree/shrub, great for screening and hedges.
7	Sagewood	<i>Buddleja salviifolia</i>	Mostly a shrub, impressive scented bloom in spring.
8	Mountain Silver Oak	<i>Brachylaena rotunda</i>	Drought resistant tree with attractive silver foliage.
9	Num-Num	<i>Carissa bispinosa</i>	Attractive small tree/shrub, great for screening, hedges and has edible fruit.
10	Lavender Feverberry	<i>Croton gratissimus</i>	Fast-growing, graceful deciduous tree.
11	Lemon Thorn	<i>Cassinopsis ilicifolia</i>	Attractive small tree/shrub.
12	Mountain Cabbage Tree	<i>Cussonia paniculata</i>	Interesting small feature tree.
13	Pompon Tree	<i>Dais cotinifolia</i>	Popular ornamental deciduous tree with a beautiful pink bloom.
14	Bluebush/ Monkey Plum	<i>Diospyros lycioides</i>	Local tree, hardy.
15	Bladder Nut	<i>Diospyros whyteana</i>	Ornamental tree, good for screening.
16	Wild Pear	<i>Dombeya rotundifolia</i>	Fast-growing, well-shaped deciduous tree. Spectacular white bloom in spring.
17	Transvaal Milkplum	<i>Englerophytum magaliesmontanum</i>	Interesting small tree/shrub.
18	Blue Guarri	<i>Euclea crispa</i>	Attractive highveld tree.
19	Puzzle Bush	<i>Ehretia rigida</i>	Interesting small tree/shrub.
20	Large Leafed Rock Fig *	<i>Ficus abutilifolia</i>	Rock feature garden but it keep far away from infrastructure.
21	Bushveld Gardenia	<i>Gardenia volkensii</i>	Attractive garden ornamental with a fragrant white bloom.
22	Cross-Berry	<i>Grewia occidentalis</i>	Evergreen small tree/shrub with attractive pink flowers.
23	Common Spikethorn	<i>Gymnosporia buxifolia</i>	Good for screening/shrubbery – it's possible to utilise as an impenetrable hedge.
24	Tree Fuchsia	<i>Halleria lucida</i>	Fast-growing, great for screening/shrubbery, hedges and has an attractive red-orange bloom.
25	Lavender Tree	<i>Heteropyxis natalensis</i>	Attractive, fragrant ornamental tree.
26	Parsley Tree	<i>Heteromorpha arborescens</i>	Fast-growing and full of character.
27	River Indigo	<i>Indigofera jacunda</i>	Attracts butterflies.
28	Ouhout	<i>Leucosidea sericea</i>	Fast-growing gnarled small tree/shrubbery.

29	Cork Bush	<i>Mundulea sericea</i>	Attractive ornamental with purple flowers.
30	Peeling Plane Tree	<i>Ochna pulchra</i>	Very attractive, small and slow-growing tree.
31	Jacket Plum	<i>Pappea capensis</i>	Fast-growing, well-shaped tree.
32	Cheesewood	<i>Pittosporum viridiflorum</i>	Well shaped tree, great for screening and hedges.
33	Wild Gardenia	<i>Rothmannia capensis</i>	Beautiful tree, large creamy-white fragrant bloom.
34	Dog Wood	<i>Rhamnus prinoides</i>	Attractive with shiny green foliage for the undergrowth.
35	Karee	<i>Searsia leptodictya</i>	Deciduous shade tree.
36	Common Wild Currant	<i>Searsia pyroides</i>	Common Highveld tree/shrub.
37	Blue Crowberry	<i>Searsia zeyherii</i>	Hardy small tree/shrub.
38	Small Knobwood	<i>Zanthoxylum capense</i>	Small tree/shrub.
MEDIUM TREES			
39	Red Ivory	<i>Berchemia zeyheri</i>	Very attractive deciduous tree with irresistible fruit.
40	Tree Wisteria	<i>Bolusanthus speciosus</i>	Beautiful deciduous tree with purple bloom from further North but adapts well.
41	Cape Chestnut	<i>Calodendron capense</i>	Stunning pink bloom - beautiful tree.
42	White Stinkwood	<i>Celtis africana</i>	Fast-growing deciduous shade tree, large gardens.
43	River Bushwillow	<i>Combretum erythrophyllum</i>	Fast-growing, common, hardy, local deciduous tree along the river. Good for large gardens.
44	Russet Bushwillow	<i>Combretum hereroense</i>	Graceful and attractive semi-deciduous garden tree.
45	Velvet Bushwillow	<i>Combretum molle</i>	Graceful and attractive deciduous garden tree.
46	Large Fruited Bushwillow	<i>Combretum zeyheri</i>	Graceful and attractive semi-deciduous garden tree.
47	Wild Apricot	<i>Dovyalis zeyheri</i>	A local version of the Kei apple tree, edible fruit.
48	Cape Ash	<i>Ekebergia capensis</i>	Popular ornamental shade tree. Good for large gardens large gardens.
49	Coral Tree*	<i>Erythrina lysistemon</i>	Spectacular red bloom but be cautious of planting it too close to infrastructure.
50	Red Leafed Rock Fig*	<i>Ficus ingens</i>	Rock feature garden so don't plant it near infrastructure.
51	Wild Plum	<i>Harpephyllum caffrum</i>	Fast-growing attractive tree from the eastern parts of SA, grows well and is good for large gardens.
52	Forest Lavender Tree	<i>Heteropyxis canescens</i>	Interesting feature tree from Mpumalanga.
53	Cape Holly	<i>Ilex mitis</i>	Beautiful evergreen tree.
54	Wild Peach	<i>Kiggelaria africana</i>	Great screening, highveld garden tree.
55	Wild Elder	<i>Nuxia congesta</i>	Fast-growing and attractive tree.
56	Koko Tree	<i>Maytenus undata</i>	Slow growing and hardy ornamental tree.
57	Moepel	<i>Mimusops zeyheri</i>	Attractive glossy green leaf ornamental tree with fruit.
58	Wild Olive	<i>Olea europaea africana</i>	Attractive and popular shade tree, large gardens.
59	Mountain Hard Pear	<i>Olinia emarginata</i>	Stunning tree, difficult to find, but well worth it.
60	African Wattle	<i>Peltophorum africanum</i>	Yellow summer bloom.
61	Red Stinkwood	<i>Prunus africana</i>	Fast-growing and attractive shade tree. Good for large gardens.
62	Sneezewood Tree	<i>Pteroxylon obliquum</i>	Fast-growing and attractive shade tree not naturally found in Gauteng.
63	Round leafed Kiaat	<i>Pterocarpus rotundifolius</i>	Fast-growing and attractive shade tree with a yellow bloom.
64	Small Leafed Willow*	<i>Salix mucronata</i>	Attractive indigenous Willow tree. Don't plant it too close to water pipes and drains.
65	Huilboerboom	<i>Schotia brachypetala</i>	Impressive red bloom but don't plant it on driveways (weeping). Not naturally occurring in Gauteng.
66	Karee	<i>Searsia lancea</i>	Fast-growing shade tree.
67	Flame Thorn*	<i>Senegalia ataxacantha</i>	Hardy, fast-growing tree. Don't plant it too close to infrastructure. Good for large gardens.
68	Common Hook Thorn*	<i>Senegalia caffra</i>	Hardy and fast-growing but don't plant it too close to infrastructure. Good for large gardens.
69	Sweet Thorn	<i>Vachellia karoo</i>	Fast-growing shade tree.
70	Broadpod Robust Thorn	<i>Vachellia robusta</i>	Fast-growing deciduous shade tree.

71	Umbrella Thorn *	<i>Vachelia tortilis</i>	Classic flat top thorn tree. Keep it away from infrastructure. Good for large gardens.
72	White Ironwood	<i>Vepris lanceolata</i>	Well-shaped, attractive tree.
73	Wild Medlar	<i>Vangueria infausta</i>	Interesting, great wild fruit tree.
74	Buffalo Thorn	<i>Ziziphus mucronata</i>	Hardy and attractive local tree.
LARGE TREES (not recommended for smaller gardens)			
75	Ana Tree*	<i>Faidherbia albida</i>	An extremely fast-growing and tall deciduous tree from the North.
76	White Siringa*	<i>Kirkia acuminata</i>	Large deciduous shade tree from further North. Plant away from infrastructure.
77	Outeniqua Yellow Wood	<i>Podocarpus falcatus</i>	Large and impressive tree once established.
78	Fever Tree*	<i>Senegalia xanthophloea</i>	Extremely fast-growing, attractive, lime green, deciduous Lowveld tree. Great for dappled shade.
79	Paperbark Thorn	<i>Senegalia siberiana</i>	Huge flat crown deciduous tree.
80	Ngongoni three-awn*	<i>Aristida Junciformis</i>	Very large deciduous thorn tree.
	Red autumn grass	<i>Schizachyrium Sanguineum</i>	
	Russet grass	<i>Loudetia Simplex</i>	
	Soutpangrass	<i>Calamagrostis Epigejos</i>	

Recommended Highveld Landscaping Plantlist

ITEM	COMMON NAME	SPECIES	NOTES
SMALL SHRUBS			
1	Bush Violet	<i>Barleria obtusa</i>	March to June-mauve, pink, white flowers en masse, informal scrambling shrub.
2	Wild Aster	<i>Felicia fififolia</i>	Masses of mauve to white daisy like flowers in spring.
3	Pink Sage	<i>Orthosiphon labiatus</i>	Pale pinkish mauve flowers all summer, aromatic leaves.
4	Rose Scented Pelargonium	<i>Pelargonium graveolens</i>	Smallish pink flowers early summer, scented bush.
5	Forest Spur Flower	<i>Plectranthus fruticosus</i>	Blueish mauve flowers, grows in shaded spaces.
MEDIUM SHRUBS			
1	Pride of De Kaap	<i>Bauhinia galpinii</i>	Scrambling shrub, beautiful bright red flowers.
2	Numnum	<i>Carissa bispinosa</i>	Ornamental, sweetly scented white flowers in spring.
3	Dwarf Coral tree	<i>Erythrina humeana</i>	Beautiful focal plant with bright red nectar rich flowers throughout summer. Survives frost. Seeds toxic.
4	Currybush	<i>Hypericum revolutum</i>	Attractive year round yellow flowers.
5	Wild Dagga	<i>Leonotis leonurus</i>	Drought resistant, bright orange nectar rich flowers in autumn, thrives on the estate.
6	Forest Bellbush	<i>Mackaya bella</i>	Shady protected areas, pale mauve flowers, early summer.
7	Mickey Mouse Bush	<i>Ochna serrulata</i>	Decorative ornamental, golden yellow flowers early summer and attractive fruit.
8	Common Brides Bush	<i>Pavetta gardniiifolia</i>	Masses of creamy white nectar rich flowers mid summer.
9	Cape Leadwort	<i>Plumbago auriculata</i>	Scrambling shrub, powder blue/white flowers throughout summer
10	Purple Broom	<i>Polygala virgata</i>	Attractive purple sweatpea like flowers July to Feb. Tall and elegant.
11	Cape Honeysuckle	<i>Tecoma capensis</i>	Sprawling bush with attractive orange/red/yellow flowers year round.
LARGE SHRUBS (NOTE: A number of species classified as large shrubs are included in the tree list)			
1	Sand Olive	<i>Dodonaea viscosa</i>	Small yellow green flowers, wind resistant and does well in sandy areas.
2	Hedge Euphorbia	<i>Euphorbia tirucalli</i>	Succulent shrub adding some waterwise orange colour. Latex is toxic.
3	Blue Honeybells	<i>Freylinea tropica</i>	Delicate mauve-blue flowers.
4	Wild Parasol Flower	<i>Karomia speciosa</i>	Mauve and purple flowers - shrubby tree.
5	September Bush	<i>Polygala myrtifolia</i>	Pea-shaped purple mauve flowers.
6	Spekboom	<i>Portulacaria afra</i>	Ornamental succulent tree, from the drier and warmer parts, careful of heavy frost.
7	Honeysuckle Tree	<i>Turraea floribunda</i>	Fragrant cream flowers full of nectar.

WATER GARDEN			
1	Vaal River Lily	<i>Crinum bulbispernum</i>	Bulb sending up impressive spike of pink lily like flowers.
2	River Lily	<i>Crinum macowanii</i>	Bulb sending up impressive spike of pink lily like flowers.
3	River Stars	<i>Gomphostigma virgatum</i>	Greyish plant, delicate white flowers.
4	River Pumpkin	<i>Gunnera perpensa</i>	Large leaves, unusual and attractive ornamental.
5	Scarlet River Lily	<i>Hesperantha coccinea</i>	Beautiful scarlet flowers mid summer.
6	Common Rush	<i>Juncus effusus</i>	Well watered beds and marshes - small reed and ideal for wetland fringes.
7	Matting Rush	<i>Juncus kraussii</i>	Hardy evergreen rush.
8	Blue Water Lily	<i>Nymphaea nouchali</i>	Attractive blue and white flowers.
9	Small Yellow Water Lily	<i>Nymphoides thunbergiana</i>	Small delicate yellow flowers.
10	Hardy Sedge	<i>Scirpus finiciodes</i>	Attractive sedge.
11	Plume Sedge	<i>Schoenoplectus corymbosus</i>	Sedge for waterlogged spaces.
12	Bulrush	<i>Typha capensis</i>	Large reed.
13	Arum Lily	<i>Zantedeschia aethiopica/ rehmannii</i>	Attractive white lily. Toxic if ingested.
ANNUALS			
1	Wild Foxglove	<i>Ceratotheca triloba</i>	Attractive pale mauve flowers.
GRASSES/GRASSLIKE			
1	Snowflake Grass	<i>Andropogon eucomis</i>	Hardy densely tufted with attractive silky seed heads.
2	Ngongoni Three Awn	<i>Aristida junctiformis</i>	Large tufted grass, very attractive plumes.
3	False Love Grass	<i>Bewsia biflora</i>	Small tufted grass with attractive pink culms.
5	Little Sedge	<i>Bulbostylis burchellii</i>	Drought resistant, small sedge.
6	Feather Top Reed Grass	<i>Calamagrostis epigejos</i>	Attractive tall feathery plumes.
7	Sickle Grass	<i>Ctenium concinnum</i>	Small attractive clump forming grass.
8	One Finger Grass	<i>Digitaria monodactyla</i>	Small hardy compact grass.
9	Weeping Love Grass	<i>Eragrostis curvula</i>	Hardy medium height grass, robust and densely tufted.
10	Narrow Heart Love Grass	<i>Eragrostis racemosa</i>	Small densely tufted grass, hardy with attractive golden seed heads all year.
11	Saw Tooth Love Grass	<i>Eragrostis superba</i>	Large heart shaped spikelets, attractive, hardy and densely tufted.
12	Witbiesie	<i>Kylinga alba</i>	Dainty sedge with attractive snowflake flowers.
13	Russet Grass	<i>Loudetia simplex</i>	Large attractive tufted grass, reddish brown inflorescence.
14	Bristle Leafed Red Top	<i>Melinis nerviglumis</i>	Stunning grass for landscaping with fluffy pink plumes.
15	Natal Red Top	<i>Melinis repens</i>	Pink plumes, self seeds, spreads and grows well in disturbed areas, very attractive hardy grass.
16	Pin Cushion Grass	<i>Microchloa caffra</i>	Attractive and dainty grass for borders.
17	Boat Grass	<i>Monocymbium cerasiiforme</i>	Medium tufted grass.
18	Natal Buffalo Grass	<i>Panicum natalense</i>	Small tufted grass with attractive blue-green leaves.
19	Guinea Grass	<i>Panicum maximum</i>	Large hardy clump forming, does well in shade and birds love the seed.
20	Herringbone Grass	<i>Pogonarthia squarrosa</i>	Beautiful garden grassland specie.
21	Red Autumn Grass	<i>Shizachyrium sanquineum</i>	Hardy tufted perennial, attractive red colour in autumn.
22	Broad Leafed Bristle Grass	<i>Setaria megaphylla</i>	Broad pleated leaves, enjoys shade.
23	Golden Bristle Grass	<i>Setaria sphacelata</i>	Compact and attractive form.
24	Red Dropseed	<i>Sporoboulus festinus</i>	Misty pink inflorescence. Small grass.
25	Fibrous Dropseed	<i>Sporoboulus stapfianus</i>	Small attractive grass for borders.
26	Purple Vlei Grass	<i>Stiburus alopecuroides</i>	Needs water but stunning grass with purple flowers
27	Red Grass	<i>Themeda triandra</i>	Beautiful tufted grass, purple-red flowers.
BULBS			
1	Candlelabrum Lily	<i>Albuca nelsonii</i>	Dry shade, large spikes of white and green flowers.
2	Sore Eye Flower	<i>Boophane disticha</i>	Fan shaped leaf growth, interesting and special feature plant for a rocky. Toxic bulb.

3	Grassland Crinum	<i>Crinum graminicola</i>	Occurs naturally on the estate, magnificent pink bloom.
4	Falling Stars	<i>Crocasmia aurea</i>	Orange flowers, grows in shaded areas.
5	Yellow Fire Lily	<i>Cyrtanthus breviflorus</i>	Stunning in damper region of garden.
6	Harebells	<i>Dierama mossi</i>	intricate flower amongst grasses.
7	Pineapple Flower	<i>Eucomis autumnalis</i>	Unusual and attractive flower.
8	Red Iris	<i>Freesia grandiflora</i>	Stunning red iris blooming late winter.
9	African Gladiolus	<i>Gladiolus daleni</i>	Bulb with beautiful orange/red spikes.
10	Star Flower	<i>Hypoxis hemerocallidea</i>	African potato, interesting yellow flower.
11	Ledebouria	<i>Ledebouria revoluta</i>	Facinating leaves laying low on ground.
12	Blue Squill	<i>Merwillia natalensis</i>	Bulb with spikes of blue flowers.
13	Paintbrush Lily	<i>Scadoxus puniceus</i>	Shade loving, stunning red bloom, naturally occurring along the river.
14	Wild Squill	<i>Schizocarpus nervosus</i>	Interesting grassland species.
15	Wild Garlic	<i>Tulbaghia violacea</i>	Highveld version of wild garlic.
CLIMBERS			
1	Travellers Joy	<i>Clematis brachiata</i>	Fragrant creamy flowers.
2	Starry Wild Lasmine	<i>Jasminum multipartitum</i>	Fragrant pinkish-white flowers early summer.
3	Climbing Bells	<i>Littonia modesta</i>	Golden yellow flowers mid summer.
4	Black Eyed Susan	<i>Thunbergia alata</i>	Orange and yellow trumpet shaped flowers.
FERNS			
1	Maidenhair Fern	<i>Adiantum capillus-veneris</i>	Delicate, fast growing fern.
2	Banded Fern	<i>Pteris vittata</i>	Fast growing attractive fern, long fronds.
3	Tree Fern	<i>Cyathea dregei</i>	Our indigenous tree fern.
4	Hard Fern	<i>Pellaea calomelanos</i>	Gauteng grassland fern.
5	Downy Maiden Fern	<i>Thelypteris dentata</i>	Attractive shade plant.
6	Rock Fern	<i>Cheilanthes viridus</i>	Hardy shade plant.
GROUNDCOVERS			
1	Aptenia	<i>Aptenia cordifolia</i>	Semi-succulent vygie like flowers, sun or shade.
2	Marigold	<i>Arctotes arctoides</i>	Soft groundcover with yellow flowers year round.
3	Falkia	<i>Falkia oblonga</i>	Dwarf matt forming perennial for a damp space, large attractive cream flowers.
4	Madagascar Spur Flower	<i>Plectranthus ramosior</i>	Useful groundcover - sun or shade. Purple flowers.
5	Chamaeloen Spur Flower	<i>Plectranthus mutabilis</i>	Semi succulent - shade.
6	Camphor Spurflower	<i>Plectranthus cylindraceus</i>	Aromatic rockery plant requiring moderate water.
7	Money Plant	<i>Plectranthus verticillatus</i>	Attractive groundcover, tubular white flowers.
PERRENIALS			
1	Dwarf Agapanthus	<i>Agapanthus africanus</i>	Fast growing perennial - purple/blue/white, likes shade.
2	Woods Aristea	<i>Aristea woodii</i>	Semi-shade, attractive blue flowers.
3	Wild Wormwood	<i>Artemisia afra</i>	Aromatic fern-like leaves.
4	Cape Smilax	<i>Asparagus asparagoides</i>	Glossy green delicate foliage.
5	Foxtail Fern and Emerald Fern	<i>Asparagus densiflorus</i>	Soft looking, attractive red berries.
6	Wild Asparagus	<i>Asparagus suaveolens</i>	Showy white flowers.
7	Asparagus Fern	<i>Asparagus setaceus</i>	Evergreen sprawling climber.
8	Daisy Tea Bush	<i>Athyria elata</i>	Small daisy-like blue and pink flowers .
9	Barleria	<i>Barleria lancifolia</i>	Blueish leaves with mauve flowers.
10	Bush Violet	<i>Barleria obtusa</i>	Fast growing, dainty violet flowers.
11	Bush Violet	<i>Barleria pretoriensis</i>	Long flowering period - white flowers.
12	Cats Whiskers	<i>Becium angustifolium</i>	Low growing, attractive flower.
13	Cats Whiskers	<i>Becium obovatum</i>	Mauve white flowers, groundcover.

14	White Trumpets	<i>Chascanum hederaceum</i>	Dainty perennial, grows amongst grasses.
15	Chlorophytum	<i>Chlorophytum cooperii</i>	Dainty perennial, grows amongst grasses.
16	Giant Chlorophytum	<i>Chlorophytum bowkeri</i>	Large shady areas.
17	Bush Lily	<i>Clivia miniata</i>	Shade, compost rich soil. Toxic if ingested.
18	Crabbea	<i>Crabbea aucalis</i>	Unusual basal rosette of flowers.
19	Bushveld Crossandra	<i>Crossandra greenstockii</i>	Hardy, orange flowers.
20	Frilly Carnation	<i>Dianthus mooiensis</i>	Grasslike with pink and white carnation style flowers.
21	Large Wild Iris	<i>Dietes grandiflora/sp</i>	Popular landscaping plant from the Eastern Cape.
22	Osteospermum	<i>Dimorphotheca jucunda</i>	Large daisy like flowers pink-purple.
23	Fine Leafed Felicia	<i>Felecia fillifolia</i>	Needle like foliage, blue daisys with yellow centres.
24	Trailing Gazania	<i>Gazania rigens</i>	Forms a groundcover with silver grey foliage and yellow flowers.
25	Gazania	<i>Gazania kresiana</i>	Forms a groundcover with a stunning range of colour.
26	Vermeerbos	<i>Geigeria burkei</i>	Hardy, yellow-like daisies
27	Griqua Gerbera	<i>Gerbera ambigua</i>	White flower.
28	Barbeton Daisy	<i>Gerbera jamesonii</i>	Beautiful waterwise perennial with daisy like flowers.
29	Wetland Gerbera	<i>Haplocarpa nervosa</i>	Yellow flower attractive groundcover requires moist conditions.
30	Katstert	<i>Hebenstretia comosa</i>	Long slender spike of small white flowers, plant amongst grasses.
31	Narrow Leafed Pink Ipomea	<i>Ipomea bolusiana</i>	Creeping stems, pink funnel shaped flowers.
32	Common Marsh Poker	<i>Kniphofia linearifolia</i>	Robust perennial attractive display red.
33	Torch Lily	<i>Kniphofia ensifolia</i>	Flowers red, then greenish white.
34	Red Hot Poker	<i>Kniphofia porphyrantha</i>	Orange, lemon yellow flowers.
35	Birds Brandy	<i>Lantana rugosa</i>	Indigenous lantana with purple berries.
36	Broad Leafed Leonotis	<i>Leonotus intermedia</i>	Orange nectar rich flowers.
37	Laventelbossie	<i>Lippia rehmannii</i>	Aromatic, lemon like scent, purple berries.
38	Dolls Protea	<i>Macledium zeyheri</i>	Attractive dry flowers.
39	Mauve Nemesia	<i>Nemesia fruticans</i>	Stunning pink flowers amidst grasses.
40	False Fumitory Storksbill	<i>Pelargonium pseudofumarioides</i>	Interesting plant in shade.
41	Rabassam	<i>Pelargonium sidiodes</i>	Aromatic leaf, black-purple flower
42	Pelargonium	<i>Pelargonium dolomiticum</i>	Grows amongst grasses, cream to pink flowers.
43	Stalked Flowered Pelargonium	<i>Pelargonium luridum</i>	Pink flowers on long stalk, Waterfall grassland plant.
44	Creeping Sage	<i>Salvia repens</i>	Fast growing and spreading aromatic herb with white/blue/purple flowers.
45	Mother in Laws Tongue	<i>Sansevieria aethiopica</i>	Long leathery leaves.
46	Wild Scabiosa	<i>Scabiosa columbaria</i>	Butterfly bush, great plant.
47	Mountain Fingers	<i>Senecio barbetonicus</i>	Hardy succulent shrub.
48	Crane Flower	<i>Strelitzia reginae</i>	Striking flowers March to October.
49	Hairy Blue Bells	<i>Trichodesma angustifolium</i>	Pale blue flowers.
50	Vernonia	<i>Vernonia sutherlandii</i>	Perennial herb - pink flowers.
51	Bobbejaanstert	<i>Xerophyta retinervis</i>	Beautiful purple flowers, plant in well drained soil and full sun.
SUCCULENTS			
1	Krantz Aloe	<i>Aloe arborescens</i>	Prolific growth, winter nectar rich flowers.
2	Veld Aloe	<i>Aloe greatheadii</i>	Our grassland aloe flowering June/July.
3	Zebra Aloe	<i>Aloe zebrina</i>	Our grassland aloe starts flowering February, suckers easily forming dense groups.
4	Blue Krantz Aloe	<i>Aloe mutabilis</i>	Reaches 1m height.
5	Grass Aloe	<i>Aloe cooperi</i>	Fast growing amongst grasses.
6	Turks Cap	<i>Aloe peglerae</i>	Specialised Magaliesberg aloe.

7	Pretoria Aloe	<i>Aloe pretoriensis</i>	Very tall 2m flower spikes.
8	Reitz's Aloe	<i>Aloe reitzii</i>	Summer flowering.
9	Wits Grass Aloe	<i>Aloe verecunda</i>	Orange grass aloe.
10	Stalked Bulbine	<i>Bulbine abyssinica</i>	Extremely hardy, yellow flower.
11	Pigs Ears	<i>Cotyledon orbiculata</i>	A succulent with bell shaped flowers.
12	Delosperma	<i>Delosperma purpureum</i>	Attractive purple flower.
13	White Mountain Vygie	<i>Delosperma herbeum</i>	Pinkish to white flowers, dainty groundcover.
14	Free State Delosperma	<i>Delosperma cooperii</i>	Spreads quickly and covers large areas.

16. THE VILLAS (EXT 41 & 42)

Please take note that ext 41 and 42 (The Villas), is not governed by the same architectural rules as described in this document and should therefore not be seen as a precedent for the design of an individual dwelling.

17. GENERAL

These rules are to be read in conjunction with the Agreement of Sale between the homeowner and the developer and the constitution of the Homeowners Association, including any amendments to it. Even if a homeowner may have complied with these set out rules, the development company will have the absolute discretion to reject any plans which do not, in its sole discretion embody the spirit of what is intended for the built environment in the estate. The Architectural Committee will in its absolute discretion, be entitled but not obliged to waive any of these guidelines but any waiver granted shall not constitute a precedent that will automatically be applicable to any other homeowner(s). Homeowners must be members of the Homeowners Association. During the development period, the developer shall be entitled in its absolute discretion to amend these rules from time to time. Should at any time any disputes arise relating to the application or implementation of these rules, the Aesthetics Committee and or the development company's decision shall be final and binding on the parties concerned.